

Preliminary Site Development Plans

for

Cambria Suites

Bloomington, Minnesota

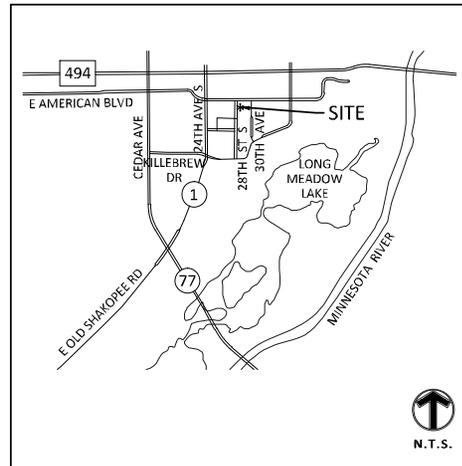
Presented by:

The Orlean Company

BENCHMARKS

BM NO. 1
TNIH LOCATED AT NE CORNER OF PROPERTY.
ELEV.=811.19

BM NO. 2
TNIH LOCATED AT SW QUADRANT OF AMERICAN BOULEVARD EAST AND 28TH AVENUE SOUTH.
ELEV.=813.08



VICINITY MAP
NO SCALE

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CONSULTANT CONTACT LIST:

DEVELOPMENT CONSULTANT
STERLING DEVELOPMENT CONSULTANTS
34375 LAKEVIEW DR
SOLON, OH 44139
TEL (216) 298-3529
FAX
CONTACT: STU FRIEDMAN

CIVIL ENGINEER
SAMBATEK, INC.
12800 WHITEWATER DRIVE, SUITE 300
MINNETONKA, MN 55343
TEL 763-476-6010
FAX 763-476-8532
CONTACT: MIKE BULTMAN

DEVELOPER
THE ORLEAN COMPANY
23875 COMMERCE PARK DRIVE #140
BEACHWOOD, OH 44122
TEL (216) 514-4990
FAX
CONTACT: KEN LURIE

SURVEYOR
SAMBATEK, INC.
12800 WHITEWATER DRIVE, SUITE 300
MINNETONKA, MN 55343
TEL 763-476-6010
FAX 763-476-8532
CONTACT: RICK BLOM

ARCHITECT
CAMERON DESIGN GROUP
1 PARK CENTER DR. # 11
WADSWORTH, OH 44281
TEL (330) 336-7686
FAX
CONTACT: DON CAMERON

LANDSCAPING
SAMBATEK, INC.
12800 WHITEWATER DRIVE, SUITE 300
MINNETONKA, MN 55343
TEL 763-476-6010
FAX 763-476-8532
CONTACT: BILL DELANEY

Client
THE ORLEAN COMPANY

23875 COMMERCE PARK DRIVE,
#140
BEACHWOOD, OH 44122

Project
CAMBRIA SUITES

Location
BLOOMINGTON, MN
8001 28TH AVENUE SOUTH

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Michael G. Blom
Registration No. 860 Date: 9/15/2015

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Summary

Designed: mgs Drawn: jmvw
Approved: rawn Book / Page:
Phase: 1111111111 Initial Issues: 11/10/2015

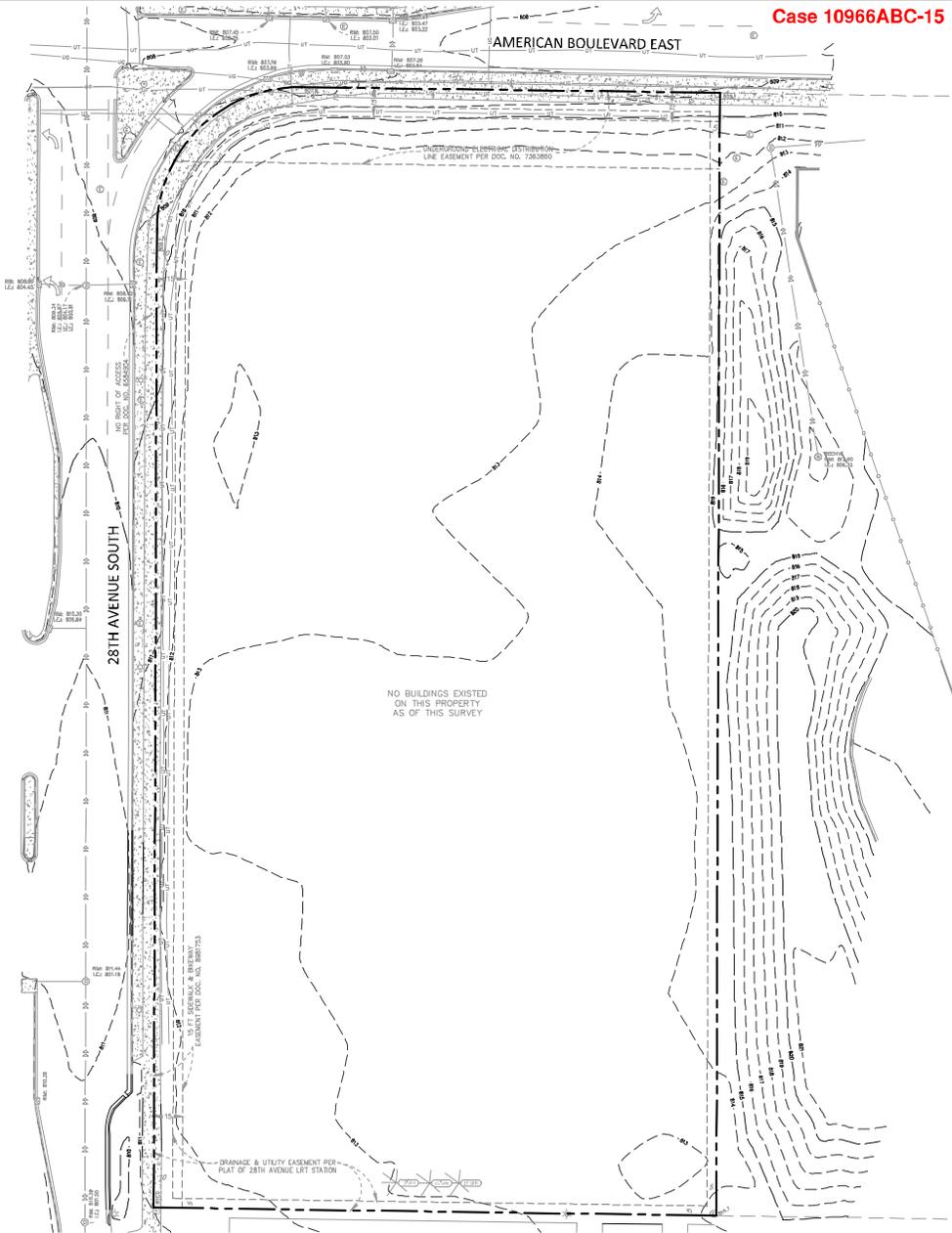
Revision History

No.	Date	By	Submittal / Revision
01	07/02/2015	raj	FORMAL DRC
02	09/04/2015	raj	FORMAL DRC
03	09/05/2015	raj	REVISED FORMAL DRC

Sheet Title
TITLE SHEET

Sheet No. Revision
C1.01

Project No. CHO20236.01



LEGEND			
● FOUND MONUMENT	○ SET MONUMENT	○ MARKERS 1/4" P&S	○ ELECTRIC METER
★ LIGHT	☒ AIR CONDITIONER	— GUY ANCHOR	⊕ HANDICAP STALL
● POST	⊕ SIGN	— WATER MAIN	— SANITARY SEWER
— SODIUM SODIUM	— FLAMED END SECTION	— ELECTRIC TRANSFORMER	— TELEPHONE PEDISTAL
— GAS METER	— OVERHEAD WIRE	— CHAIN LINK FENCE	— IRON FENCE
— WIRE FENCE	— WOOD FENCE	— EASEMENT LINE	— SETBACK LINE
— RESTRICTED ACCESS	— CONCRETE CURB	— BUILDING LINE	— BUILDING CONCRETE
— BITUMINOUS SURFACE	— CONCRETE SURFACE	— LANDSCAPE SURFACE	— DECIDUOUS TREE
— CONIFEROUS TREE			

DESCRIPTION
 Lot 2, Block 1, 28th Avenue LRT Station, Hennepin County, Minnesota.

PROPERTY SUMMARY

- SUBJECT PROPERTIES ADDRESS IS 8001 28TH AVE S, BLOOMINGTON, MN 55425, ITS PROPERTY IDENTIFICATION NUMBER IS 01-027-24-14-0015.
- THE GROSS AREA OF THE SUBJECT PROPERTY IS 3.98 ACRES OR 173,611 SQUARE FEET.

Zoning information has not been provided by the insurer as is required by the ALTA/ACSM Land Title Survey Minimum Standard Detail Requirements for inclusion within the SURVEY FOR CERTIFICATION below. Information obtained from the City of Bloomington indicates that this property lies within Zoning District CD 1 Commercial Office with an overlay zoning district of Airport Runway (AR-17) Overlay District. Zoning District CD-1 establishes the following building and parking setback requirements:
 Building - 35 feet from public street, rear setback 30 feet from property line or 40 feet if building is taller than 40 feet.
 Parking - 20 feet front setback, 5 foot side or rear setback.
 We have been informed that the surveyed property is to be re-zoned and therefore setback lines are not shown.
 Overlay Zoning District Airport Runway (AR-17) specifies that no new structure may be constructed that would project into the PRECISION INSTRUMENT APPROACH SURFACE shown in the PROPOSED AVIGATION AND CLEARANCE REQUIREMENT DETAIL shown as left.

BENCHMARKS

- The vertical datum is based on NGVD29.

BENCHMARK #1
 TBM located at NW corner of property.
 Elev. = 811.19 (NGVD 29)

BENCHMARK #2
 TBM located at SW quadrant of American Boulevard East and 28th Avenue South.
 Elev. = 813.06 (NGVD 29)

SURVEY NOTES

- The bearing system is based on the plat of 28TH AVENUE LRT STATION.
- Field work was completed on 12/29/2014



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THE ORLEAN COMPANY

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 #140
 BEACHWOOD, OH 44122

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BLOOMINGTON, MN
 8001 28TH AVENUE SOUTH

Certification

PRELIMINARY

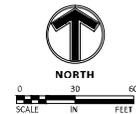
Summary
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 Approved: raw Book / Page:
 Phase: 1111/1111 Initial Issued: 10/30/2015

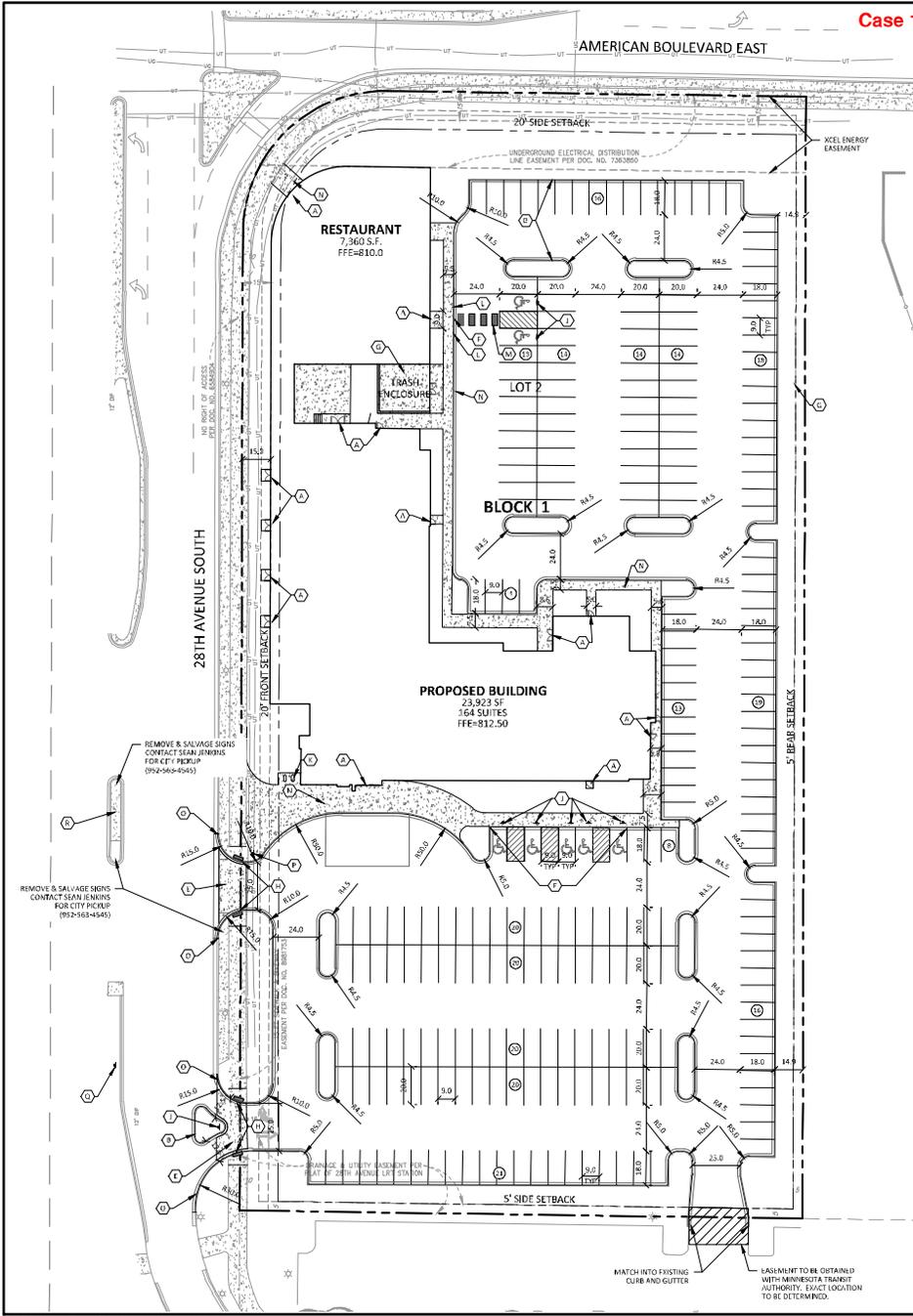
Revision History	
No.	Date By Submittal / Revision
01/02/2015	INDIVIDUAL DRC
09/04/2015	FORMAL DRC
09/05/2015	REVISED FORMAL DRC

Sheet Title
EXISTING CONDITIONS

Sheet No. Revision
C2.01

Project No. CHO20236.01





LEGEND

	PROPOSED	EXISTING	
PROPERTY LIMIT CURB & GUTTER	[Symbol]	[Symbol]	STANDARD DUTY ASPHALT PAVING
FLASHBUT	[Symbol]	[Symbol]	HEAVY DUTY ASPHALT PAVING
BUILDING	[Symbol]	[Symbol]	CONCRETE PAVING
RETAINING WALL	[Symbol]	[Symbol]	
WETLAND LIMITS	[Symbol]	[Symbol]	
TRELINE	[Symbol]	[Symbol]	
SAW-CUT LINE	[Symbol]	[Symbol]	
SIGN	[Symbol]	[Symbol]	
PIPE BOLLARD	[Symbol]	[Symbol]	
NUMBER OF PARKING STALLS PER ROW	[Symbol]	[Symbol]	
KEY NOTE	[Symbol]	[Symbol]	

DEVELOPMENT SUMMARY

AREA	AREA	AREA	AREA	AREA
TOTAL SITE AREA	173,411 SF	3.98 AC	100%	
BUILDING AREA	31,283 SF	0.72 AC	18.2%	
PERVIOUS AREA (NOT INCLUDING BUILDINGS)	136,846 SF	3.16 AC	81.8%	
PERVIOUS AREA	33,284 SF	0.81 AC	20.3%	

PARKING SETBACKS

FRONT YARD	20 FEET
REAR YARD	5 FEET
SIDE YARD - NORTH	20 FEET
SIDE YARD - SOUTH	5 FEET

ZONING

EXISTING ZONING	CO1
PROPOSED ZONING	LX

BUILDING HEIGHTS/REQUIREMENTS

EXISTING FLOOR AREA	10,000 SF
MAXIMUM BUILDING ELEVATION	800 FEET
FRONT BUILDING SETBACK	15-20 FEET

PARKING REQUIREMENTS

HOTEL	265 STALLS
1.3 SPACES PER ROOM PLUS 1 SPACE PER 1/3 CAPACITY OF BANQUET ROOM (1.3 X 150 + 1/3 X 300) = 113 X 70 + 103 X 100	
RESTAURANT	32 STALLS
1 SPACE PER 2.5 SEATS PLUS 1 SPACE PER 1/3 CAPACITY OF BANQUET ROOM (80/2.5)	
TOTAL PARKING REQUIRED (INCLUDES 7 ACCESSIBLE STALLS)	297 STALLS
TOTAL PARKING PROVIDED (INCLUDES 7 ACCESSIBLE STALLS)	290 STALLS
PROVIDED PARKING RATIO = 250/297=84.1%	

CITY OF BLOOMINGTON NOTES

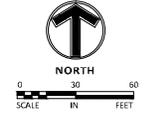
- ALL PARKING STALLS TO BE PAINTED WITH WHITE STRIPING.
- ALL CONSTRUCTION AND POST-CONSTRUCTION PARKING SHALL BE ON-SITE. NO ON-STREET PARKING (LOADING/UNLOADING) IS ALLOWED.
- ALL PUBLIC SIDEWALKS SHALL NOT BE OBSTRUCTED.
- STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
- TEMPORARY STREET SIGNS, LIGHTING AND ADDRESSES SHALL BE PROVIDED DURING CONSTRUCTION.
- FURNISH A CONSTRUCTION TRAFFIC CONTROL PLAN. PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE ISSUANCE OF PERMITS.
- CONTRACTOR SHALL OBTAIN A PUBLIC WORKS PERMIT APPLICATION FOR OBSTRUCTIONS AND CONCRETE WORK WITHIN RIGHT-OF-WAY. PERMIT IS REQUIRED PRIOR TO REMOVALS OR INSTALLATION. CONTACT SEAN JENKINS AT 952-862-6548 OR SEAN@SEANJENKINS.COM FOR PERMIT APPLICATION AND FOR ALL INFORMATION.
- RESTORE CITY STREET BY COMPLYING WITH THE CITY STREET IMPROVEMENT POLICY.

DEVELOPMENT NOTES

- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- ALL PARKING STALLS TO BE 9' IN WIDTH AND 20' IN LENGTH UNLESS OTHERWISE INDICATED.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF CURB WORKS, SWIMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENKINWAZ LOCATIONS.
- SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLE.
- ALL GRADIENTS ON SIDEWALKS ALONG THE ADA RAMP SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 1:12.0, EXCEPT AT CURB RAMP (1:12) AND A MAXIMUM CROSS SLOPE OF 2:100 (1:48). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS ISH SHALL BE 2:100 (1:48). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA RIDGES PRIOR TO PLACING CONCRETE ON BEING. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT.
- "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.
- DRAINAGE AND UTILITY EASEMENTS SHALL BE PROVIDED AS REQUIRED. DRAINAGE AND UTILITY EASEMENTS WILL BE PROVIDED OVER ALL PUBLIC UTILITIES AND UP TO THE HIGH WATER LEVEL OF ALL PONDS.
- ALL PARKING STALLS TO BE PAINTED WITH WHITE STRIPING.
- ALL CONSTRUCTION AND POST-CONSTRUCTION PARKING SHALL BE ON-SITE. NO ON-STREET PARKING (LOADING/UNLOADING) IS ALLOWED.
- ALL PUBLIC SIDEWALKS SHALL NOT BE OBSTRUCTED.
- STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
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KEY NOTES

- BUILDING, STAIRS, STAIRS (SEE ARCHITECTURAL PLANS)
- B-612 CONCRETE CURB AND GUTTER
- B-618 CONCRETE CURB AND GUTTER
- TIP OUT CURB SECTION
- CONCRETE APRON
- FLAT CURB SECTION
- FRASH ENCLOSURE (SEE ARCHITECTURAL PLANS)
- ACCESSIBLE RAMP
- ONE WAY SIGN (MNUCTD B6-2R)
- ACCESSIBLE PARKING SIGN (SEE DETAIL SHEET C7-02)
- BUFF RADIOS (7)
- CURB TRANSITION
- PEDESTRIAN CROSSWALK STRIPING
- CONCRETE SIDEWALK
- TAPER CURB TO MATCH EXISTING
- STOP SIGN (MNUCTD R1-1)
- ONE WAY SIGN (MNUCTD B6-1R)
- REMOVE EXISTING CENTER MEDIAN ISLAND, FURNISH AND INSTALL CLASS 5 AGGREGATE BASE & BITUMINOUS PAVEMENT TO MATCH EXISTING ROADWAY SECTION



Sambatek
www.sambatek.com
18200 Wabasha Drive, Suite 202
Bloomington, MN 55408
763.478.8010
763.478.8536

Engineering | Surveying | Planning | Environmental

Client
THE ORLEAN COMPANY

23875 COMMERCE PARK DRIVE,
#140
BEACHWOOD, OH 44122

Project
CAMBRIA SUITES

Location
BLOOMINGTON, MN
8001 28TH AVENUE SOUTH

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the state of Minnesota.

Michael G. B...
Registered Professional Engineer
Date: 5/15/2015

Summary

Designed: mgs Drawn: xuv
Approved: rawn Book / Page:
Phase: 11/11/2014 Initial Issue: 11/10/2014

Revision History

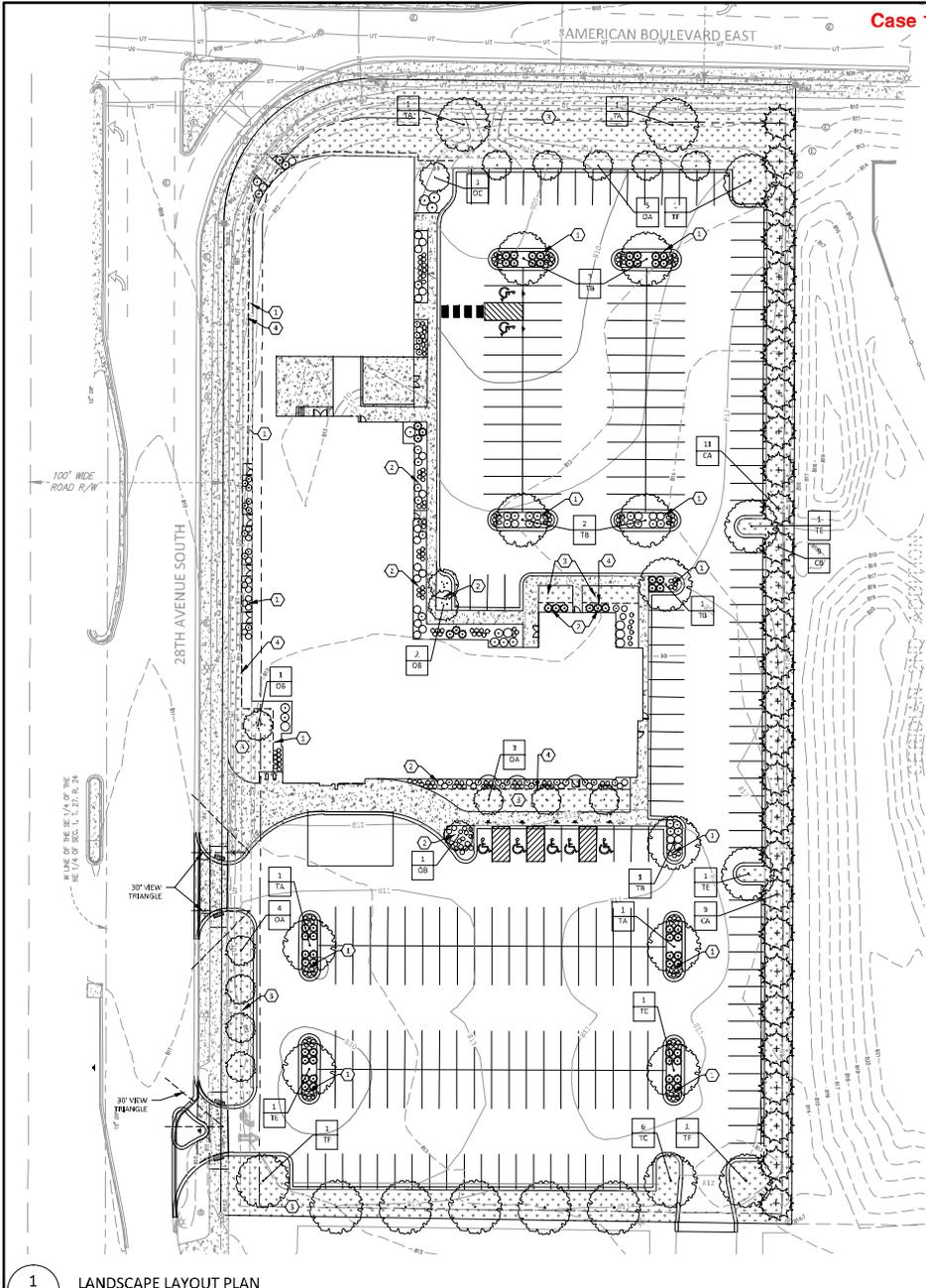
No.	Date	By	Submittal / Revision
01/02/2015			INITIAL DRC
09/04/2015			FORMAL DRC
09/04/2015			REVISED FORMAL DRC

Sheet Title
SITE PLAN

Sheet No. Revision
C3.01

Project No. CHO20236.01

Case 10966ABC-15



LANDSCAPE LEGEND

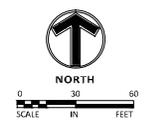
	SHADE TREE		EVERGREEN SHRUB
	EVERGREEN TREE		DECIDUOUS SHRUB
	ORNAMENTAL TREE		PERENNIALS / ORNAMENTAL GRASSES
	ROCK MULCH (3/4" DRESSER TRAP)		
	SHREDDED HARDWOOD MULCH (NATURAL COLOR)		
	HUM (HIGHLAND SOIL)		
	STEEL EDGER		

CITY LANDSCAPE CODE
BLOOMINGTON, MN CITY CODE (Section 19.52)
LANDSCAPE STANDARDS:
*Minimum Number of Trees and Shrubs. Excluding exceptions specified below in Section 19.52(1)(2)(E), development must at a minimum provide the following numbers of trees and shrubs in addition to any trees and shrubs required for screening in Section 19.52(4):
(A) One tree per 2,500 square feet of Developable Landscaping Area and
(B) One shrub per 1,000 square feet of Developable Landscaping Area*

DEVELOPABLE LANDSCAPING AREA:	173,410 SF	69 TREES
TREES REQUIRED (1 TREE / 2,500 SF):		173 SHRUBS
SHRUBS REQUIRED (1 SHRUB / 1,000 SF):		

PLANT TYPE	PROPOSED
SHADE TREES	28
EVERGREEN TREES	26
ORNAMENTAL TREES	15
SHRUBS	207

1 LANDSCAPE LAYOUT PLAN
SCALE: 1" = 30'



Client
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#140
BEACHWOOD, OH 44122

Project
CAMBRIA SUITES

Location
BLOOMINGTON, MN
8001 28TH AVENUE SOUTH

Certification
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

WILLIAM DEWITT
Regional Designer Date: 5/15/2015

Summary
Designed: mgs Drawn: jww
Approved: raww Book / Page:
Phone: 763.478.8536 Email: william@2015

Revision History

No.	Date	By	Submittal / Revision
01	07/02/2015	WILLIAM DEWITT	ISSUE FOR PERMITS
02	09/04/2015	WILLIAM DEWITT	FORMAL DRC
03	09/05/2015	WILLIAM DEWITT	REVISED FORMAL DRC

Sheet Title
LANDSCAPE PLAN

Sheet No. Revision
L1.01

Project No. CHO20236.01

Case 10966ABC-15

LANDSCAPE LEGEND

	SHADE TREE		EVERGREEN SHRUB
	EVERGREEN TREE		DECIDUOUS SHRUB
	ORNAMENTAL TREE		PERENNIALS / ORNAMENTAL GRASSES

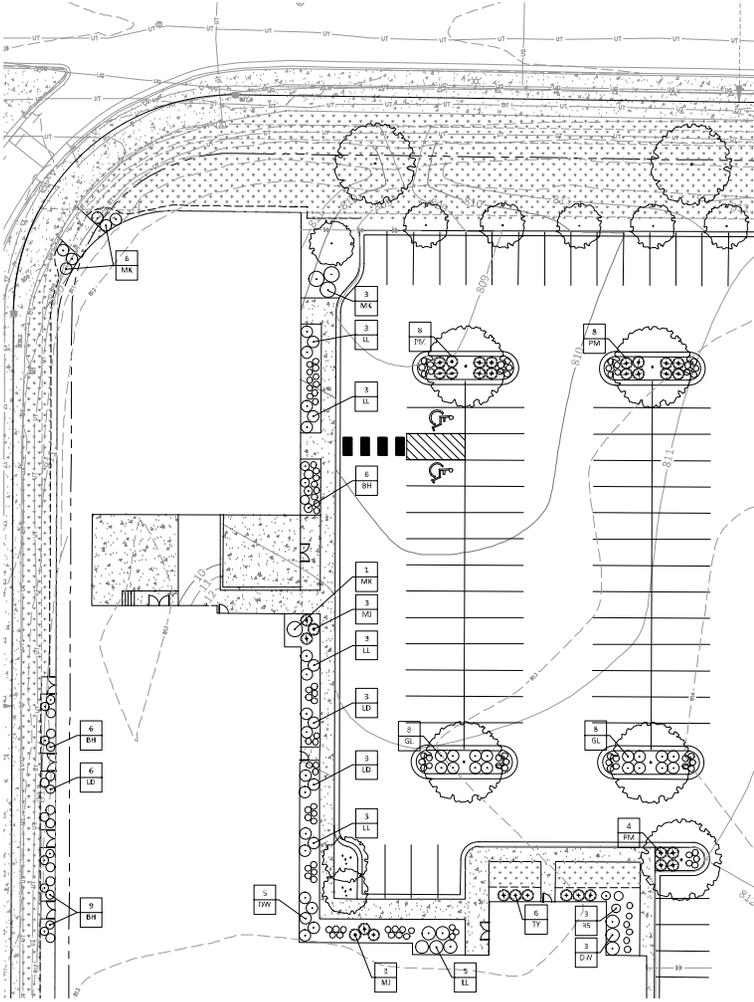
CITY LANDSCAPE CODE

BLOOMINGTON, MN CITY CODE (Section 19.52)
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 "Minimum Number of Trees and Shrubs. Excluding exceptions specified below in Section 19.52(1)(2)(E), development must at a minimum provide the following numbers of trees and shrubs in addition to any trees and shrubs required for screening in Section 19.52(1):
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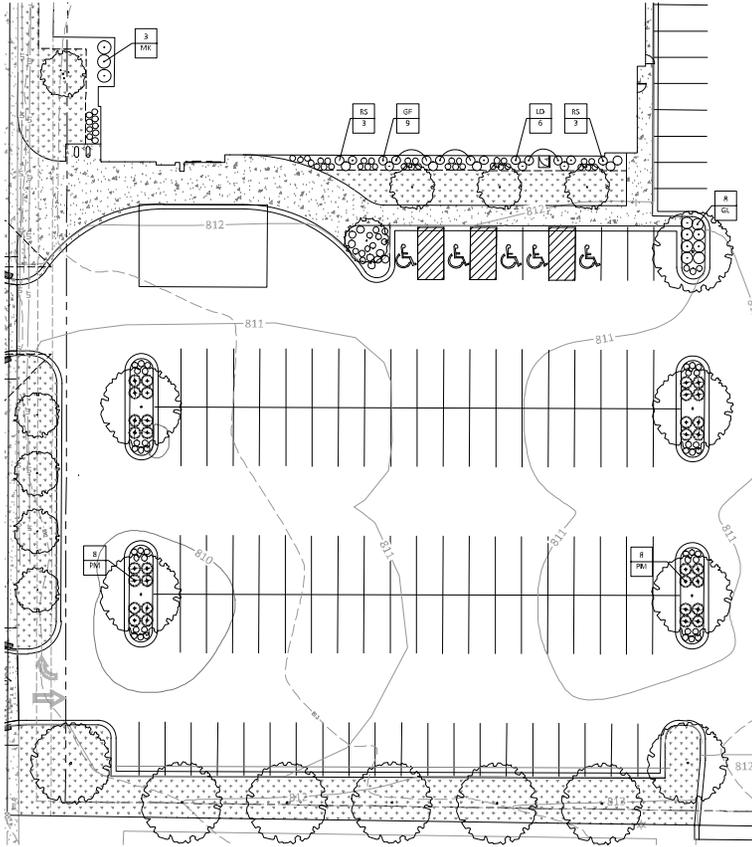
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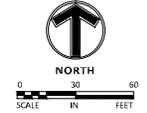
PLANT TYPE	PROPOSED
SHADE TREES	28
EVERGREEN TREES	26
ORNAMENTAL TREES	15
SHRUBS	191



1 NORTH SHRUB LAYOUT PLAN
 L1.02 SCALE: 1" = 20'



2 NORTH SHRUB LAYOUT PLAN
 L1.02 SCALE: 1" = 20'



Sambatek
 www.sambatek.com
 12820 Highway 100, Suite 200
 Minneapolis, MN 55438
 763.476.8200 telephone
 763.476.8202 fax
 Engineering | Surveying | Planning | Environmental

Client
THE ORLEAN COMPANY
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CAMBRIA SUITES

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WILLIAM DE...
 Registration No. 252 Date: 5/15/2015

Summary
 Designed: mgs Drawn: xuv
 Approved: rawn Book / Page:
 Phase: PRELIMINARY Initial Issued: 10/30/2015

Revision History

No.	Date	By	Submittal / Revision
01	07/02/2015	WJ	FORMAL DRC
02	09/04/2015	FORMAL DRC	
03	09/05/2015	REVIEW	FORMAL DRC

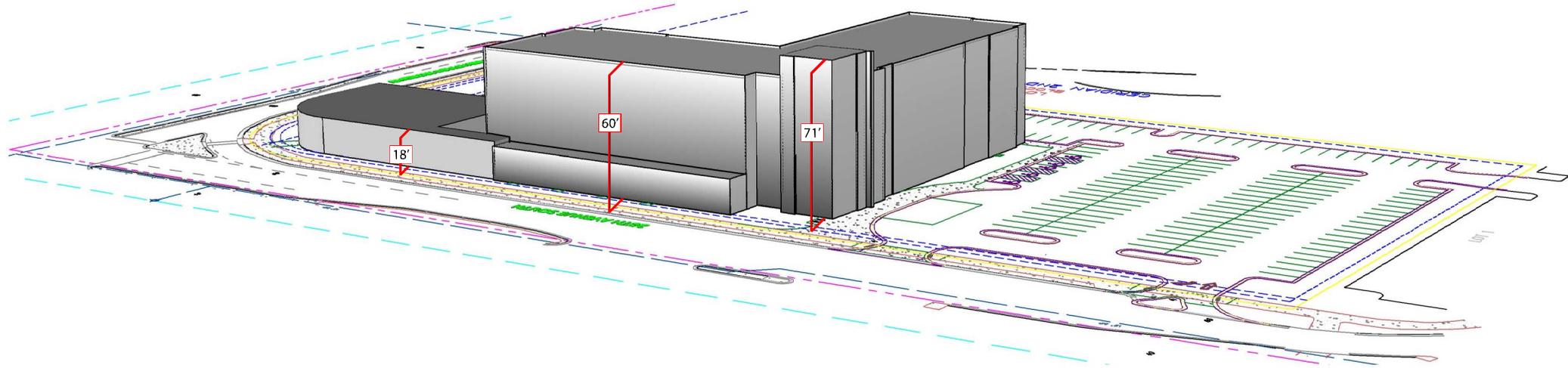
Sheet Title
LANDSCAPE ENLARGEMENT PLANS

Sheet No. Revision
L1.02

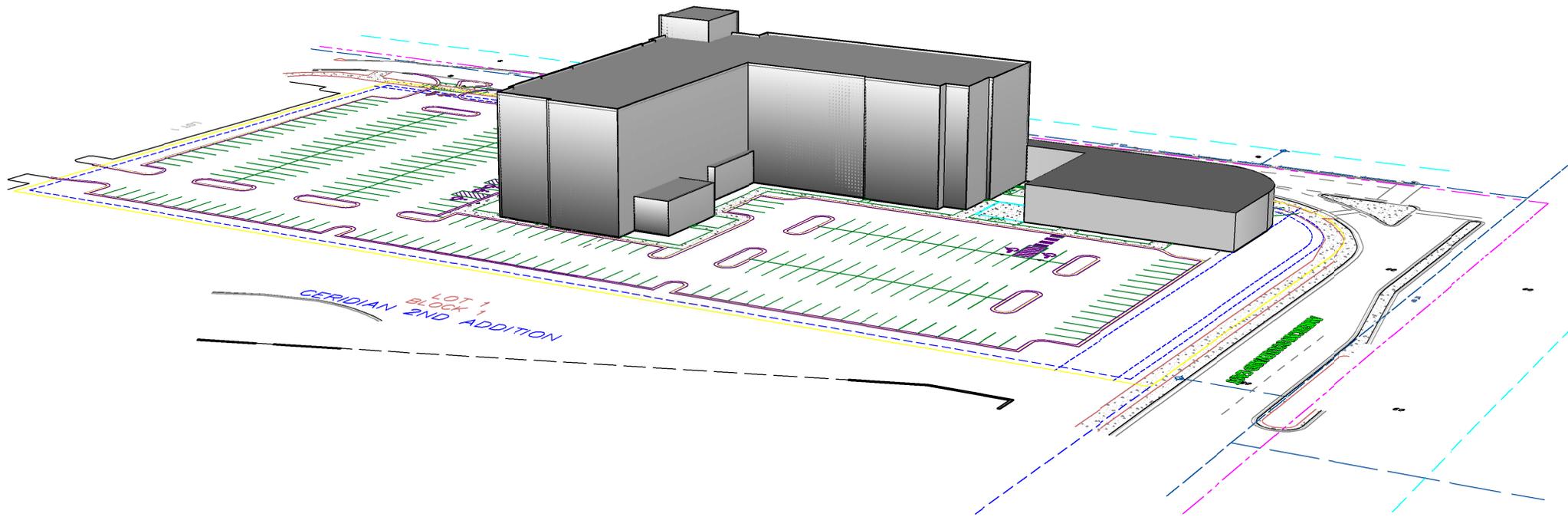
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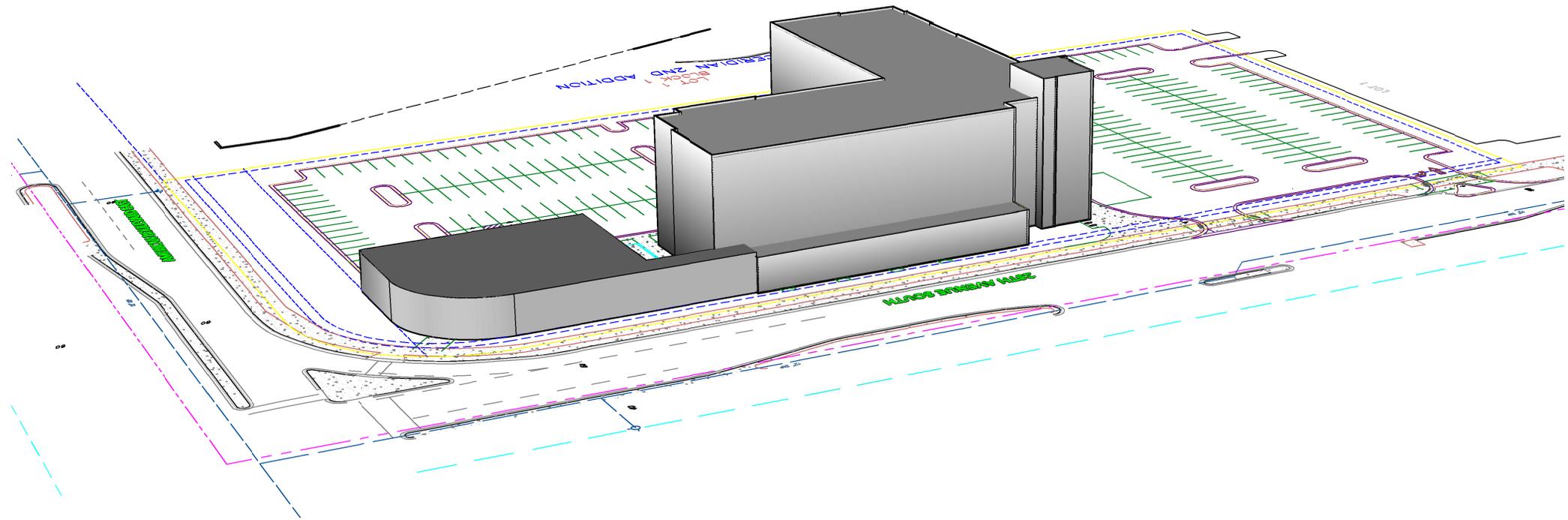
Case 10966ABC-15



Case 10966ABC-15



Case 10966ABC-15



Case 10966ABC-15



HANGOUT

VESTIBULE

BOARD ROOM

LAUNDRY

STAIR A

SOUTH ELEVATION



MEETING

COFFEE HOUSE

HANGOUT

WEST ELEVATION

BLOOMINGTON

CAMBRIA
hotels & suites

SOUTH &
WEST
EXTERIOR
ELEVATIONS

Case 10966ABC-15



POOL MECH. SWIMMING POOL FITNESS CENTER WOMENS RESTROOM STAIR B MEETING ROOM

NORTH ELEVATION



PORTE COCHERE (BEYOND) STAIR A CORRIDOR POOL EQUIP. POOL MECH. POOL KITCHEN BREAK ROOM STORAGE STAIR B

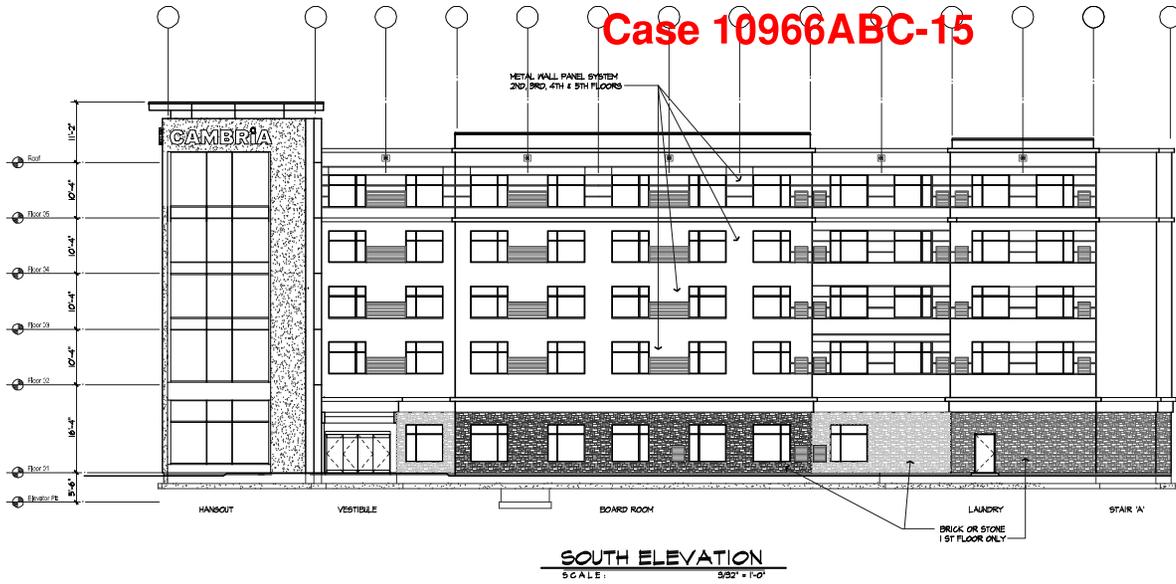
EAST ELEVATION

BLOOMINGTON

CAMBRIA
hotels & suites

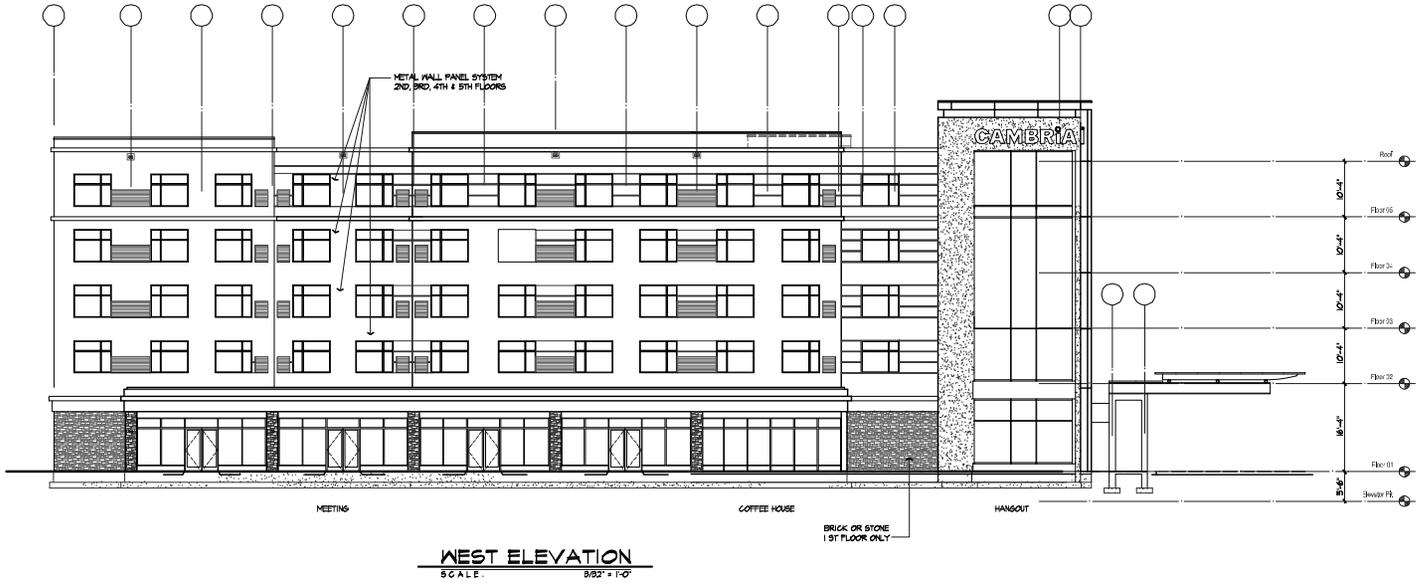
NORTH &
EAST
EXTERIOR
ELEVATIONS

Case 10966ABC-15



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

EXTERIOR FINISH MATERIAL LEGEND		
TAG & MATERIAL	COLOR	PICKEY KEY
FC-1 METAL PANEL SYSTEM	COLOR: 4101 SUPER WHITE	
EC-2 METAL PANEL SYSTEM	COLOR: 42401 FRESH SCALD	
EC-3 METAL PANEL SYSTEM	COLOR: 4273 YAKSHI GRAY	
EC-4 METAL PANEL SYSTEM	COLOR: 4274 YAKSHI GRAY	
EC-5 METAL PANEL SYSTEM	COLOR: 4275 YAKSHI GRAY	
EC-6 METAL PANEL SYSTEM	COLOR: 4276 YAKSHI GRAY	
EC-7 METAL PANEL SYSTEM	COLOR: 4277 YAKSHI GRAY	
EC-8 METAL PANEL SYSTEM	COLOR: 4278 YAKSHI GRAY	
EC-9 METAL PANEL SYSTEM	COLOR: 4279 YAKSHI GRAY	
EC-10 METAL PANEL SYSTEM	COLOR: 4280 YAKSHI GRAY	
EC-11 METAL PANEL SYSTEM	COLOR: 4281 YAKSHI GRAY	
EC-12 METAL PANEL SYSTEM	COLOR: 4282 YAKSHI GRAY	
EC-13 METAL PANEL SYSTEM	COLOR: 4283 YAKSHI GRAY	
EC-14 METAL PANEL SYSTEM	COLOR: 4284 YAKSHI GRAY	
EC-15 METAL PANEL SYSTEM	COLOR: 4285 YAKSHI GRAY	
EC-16 METAL PANEL SYSTEM	COLOR: 4286 YAKSHI GRAY	
EC-17 METAL PANEL SYSTEM	COLOR: 4287 YAKSHI GRAY	
EC-18 METAL PANEL SYSTEM	COLOR: 4288 YAKSHI GRAY	
EC-19 METAL PANEL SYSTEM	COLOR: 4289 YAKSHI GRAY	
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EC-21 METAL PANEL SYSTEM	COLOR: 4291 YAKSHI GRAY	
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EC-27 METAL PANEL SYSTEM	COLOR: 4297 YAKSHI GRAY	
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EC-29 METAL PANEL SYSTEM	COLOR: 4299 YAKSHI GRAY	
EC-30 METAL PANEL SYSTEM	COLOR: 4300 YAKSHI GRAY	
EC-31 METAL PANEL SYSTEM	COLOR: 4301 YAKSHI GRAY	
EC-32 METAL PANEL SYSTEM	COLOR: 4302 YAKSHI GRAY	
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EC-34 METAL PANEL SYSTEM	COLOR: 4304 YAKSHI GRAY	
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EC-36 METAL PANEL SYSTEM	COLOR: 4306 YAKSHI GRAY	
EC-37 METAL PANEL SYSTEM	COLOR: 4307 YAKSHI GRAY	
EC-38 METAL PANEL SYSTEM	COLOR: 4308 YAKSHI GRAY	
EC-39 METAL PANEL SYSTEM	COLOR: 4309 YAKSHI GRAY	
EC-40 METAL PANEL SYSTEM	COLOR: 4310 YAKSHI GRAY	
EC-41 METAL PANEL SYSTEM	COLOR: 4311 YAKSHI GRAY	
EC-42 METAL PANEL SYSTEM	COLOR: 4312 YAKSHI GRAY	
EC-43 METAL PANEL SYSTEM	COLOR: 4313 YAKSHI GRAY	
EC-44 METAL PANEL SYSTEM	COLOR: 4314 YAKSHI GRAY	
EC-45 METAL PANEL SYSTEM	COLOR: 4315 YAKSHI GRAY	
EC-46 METAL PANEL SYSTEM	COLOR: 4316 YAKSHI GRAY	
EC-47 METAL PANEL SYSTEM	COLOR: 4317 YAKSHI GRAY	
EC-48 METAL PANEL SYSTEM	COLOR: 4318 YAKSHI GRAY	
EC-49 METAL PANEL SYSTEM	COLOR: 4319 YAKSHI GRAY	
EC-50 METAL PANEL SYSTEM	COLOR: 4320 YAKSHI GRAY	
EC-51 METAL PANEL SYSTEM	COLOR: 4321 YAKSHI GRAY	
EC-52 METAL PANEL SYSTEM	COLOR: 4322 YAKSHI GRAY	
EC-53 METAL PANEL SYSTEM	COLOR: 4323 YAKSHI GRAY	
EC-54 METAL PANEL SYSTEM	COLOR: 4324 YAKSHI GRAY	
EC-55 METAL PANEL SYSTEM	COLOR: 4325 YAKSHI GRAY	
EC-56 METAL PANEL SYSTEM	COLOR: 4326 YAKSHI GRAY	
EC-57 METAL PANEL SYSTEM	COLOR: 4327 YAKSHI GRAY	
EC-58 METAL PANEL SYSTEM	COLOR: 4328 YAKSHI GRAY	
EC-59 METAL PANEL SYSTEM	COLOR: 4329 YAKSHI GRAY	
EC-60 METAL PANEL SYSTEM	COLOR: 4330 YAKSHI GRAY	
EC-61 METAL PANEL SYSTEM	COLOR: 4331 YAKSHI GRAY	
EC-62 METAL PANEL SYSTEM	COLOR: 4332 YAKSHI GRAY	
EC-63 METAL PANEL SYSTEM	COLOR: 4333 YAKSHI GRAY	
EC-64 METAL PANEL SYSTEM	COLOR: 4334 YAKSHI GRAY	
EC-65 METAL PANEL SYSTEM	COLOR: 4335 YAKSHI GRAY	
EC-66 METAL PANEL SYSTEM	COLOR: 4336 YAKSHI GRAY	
EC-67 METAL PANEL SYSTEM	COLOR: 4337 YAKSHI GRAY	
EC-68 METAL PANEL SYSTEM	COLOR: 4338 YAKSHI GRAY	
EC-69 METAL PANEL SYSTEM	COLOR: 4339 YAKSHI GRAY	
EC-70 METAL PANEL SYSTEM	COLOR: 4340 YAKSHI GRAY	
EC-71 METAL PANEL SYSTEM	COLOR: 4341 YAKSHI GRAY	
EC-72 METAL PANEL SYSTEM	COLOR: 4342 YAKSHI GRAY	
EC-73 METAL PANEL SYSTEM	COLOR: 4343 YAKSHI GRAY	
EC-74 METAL PANEL SYSTEM	COLOR: 4344 YAKSHI GRAY	
EC-75 METAL PANEL SYSTEM	COLOR: 4345 YAKSHI GRAY	
EC-76 METAL PANEL SYSTEM	COLOR: 4346 YAKSHI GRAY	
EC-77 METAL PANEL SYSTEM	COLOR: 4347 YAKSHI GRAY	
EC-78 METAL PANEL SYSTEM	COLOR: 4348 YAKSHI GRAY	
EC-79 METAL PANEL SYSTEM	COLOR: 4349 YAKSHI GRAY	
EC-80 METAL PANEL SYSTEM	COLOR: 4350 YAKSHI GRAY	
EC-81 METAL PANEL SYSTEM	COLOR: 4351 YAKSHI GRAY	
EC-82 METAL PANEL SYSTEM	COLOR: 4352 YAKSHI GRAY	
EC-83 METAL PANEL SYSTEM	COLOR: 4353 YAKSHI GRAY	
EC-84 METAL PANEL SYSTEM	COLOR: 4354 YAKSHI GRAY	
EC-85 METAL PANEL SYSTEM	COLOR: 4355 YAKSHI GRAY	
EC-86 METAL PANEL SYSTEM	COLOR: 4356 YAKSHI GRAY	
EC-87 METAL PANEL SYSTEM	COLOR: 4357 YAKSHI GRAY	
EC-88 METAL PANEL SYSTEM	COLOR: 4358 YAKSHI GRAY	
EC-89 METAL PANEL SYSTEM	COLOR: 4359 YAKSHI GRAY	
EC-90 METAL PANEL SYSTEM	COLOR: 4360 YAKSHI GRAY	
EC-91 METAL PANEL SYSTEM	COLOR: 4361 YAKSHI GRAY	
EC-92 METAL PANEL SYSTEM	COLOR: 4362 YAKSHI GRAY	
EC-93 METAL PANEL SYSTEM	COLOR: 4363 YAKSHI GRAY	
EC-94 METAL PANEL SYSTEM	COLOR: 4364 YAKSHI GRAY	
EC-95 METAL PANEL SYSTEM	COLOR: 4365 YAKSHI GRAY	
EC-96 METAL PANEL SYSTEM	COLOR: 4366 YAKSHI GRAY	
EC-97 METAL PANEL SYSTEM	COLOR: 4367 YAKSHI GRAY	
EC-98 METAL PANEL SYSTEM	COLOR: 4368 YAKSHI GRAY	
EC-99 METAL PANEL SYSTEM	COLOR: 4369 YAKSHI GRAY	
EC-100 METAL PANEL SYSTEM	COLOR: 4370 YAKSHI GRAY	



WEST ELEVATION
SCALE: 3/32" = 1'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION

**CAMERON
DESIGN
GROUP, INC.**

Donald V. Cameron, Jr.
Principal
1000 Independence Blvd
10000 Columbia, SC 29405

One Park Centre
Park Centre Drive
Woodbury, Ohio 44890
419.333.7466

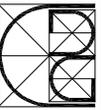
Architecture
Planning
Construction Management
Interior Design
Landscape Design

BLOOMINGTON

CAMBRIA
hotels & suites

**SOUTH &
WEST
EXTERIOR
ELEVATIONS**

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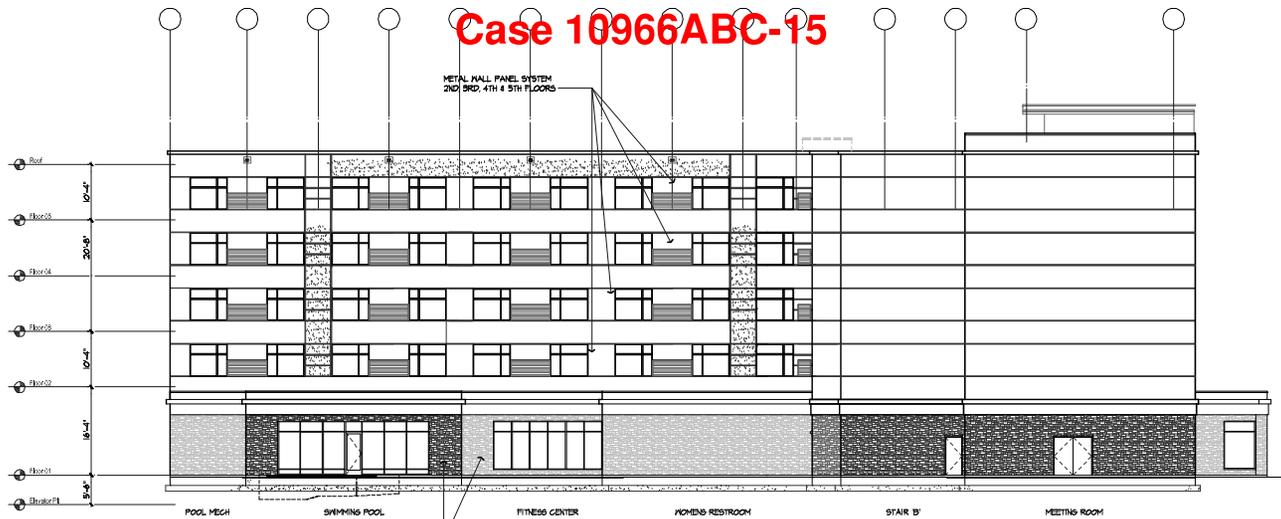


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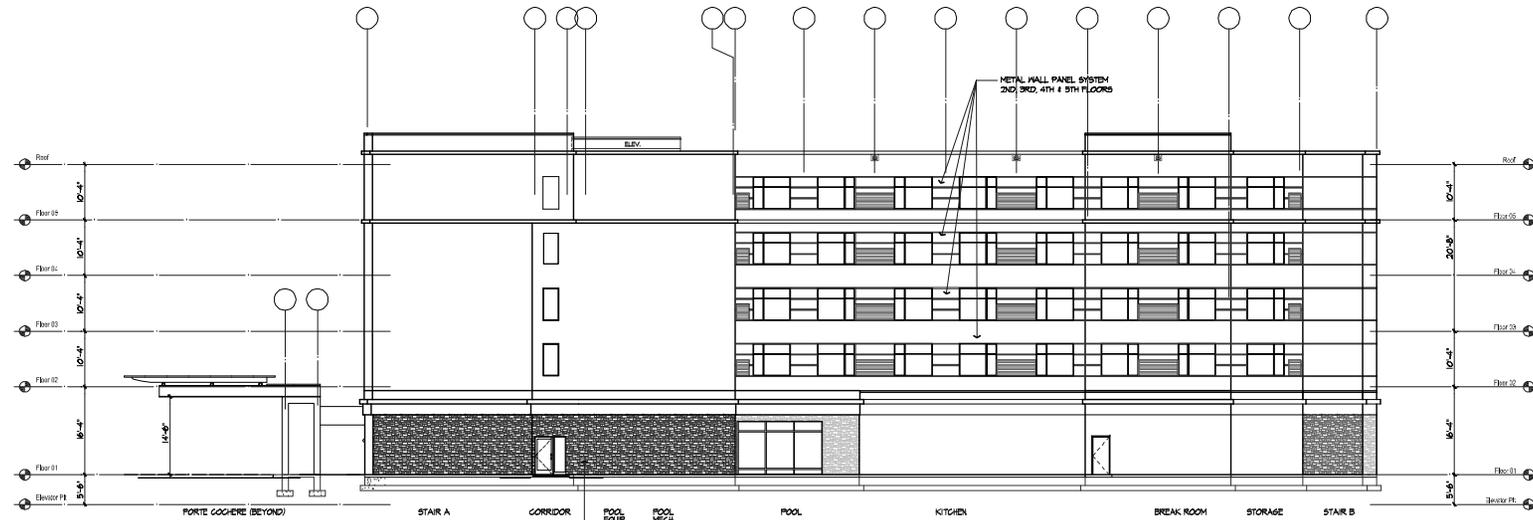
Donald V. Cameron, Jr.
Principal, AIA
Ohio Registration #000
KSAB Certificate #118

One Park Centre
Park Centre Drive
Woodworth, Ohio 44688
419.234.7000

Architecture
Interior Design
Construction Management
Graphic Design
Master Planning



NORTH ELEVATION
SCALE: 3/32" = 1'-0"

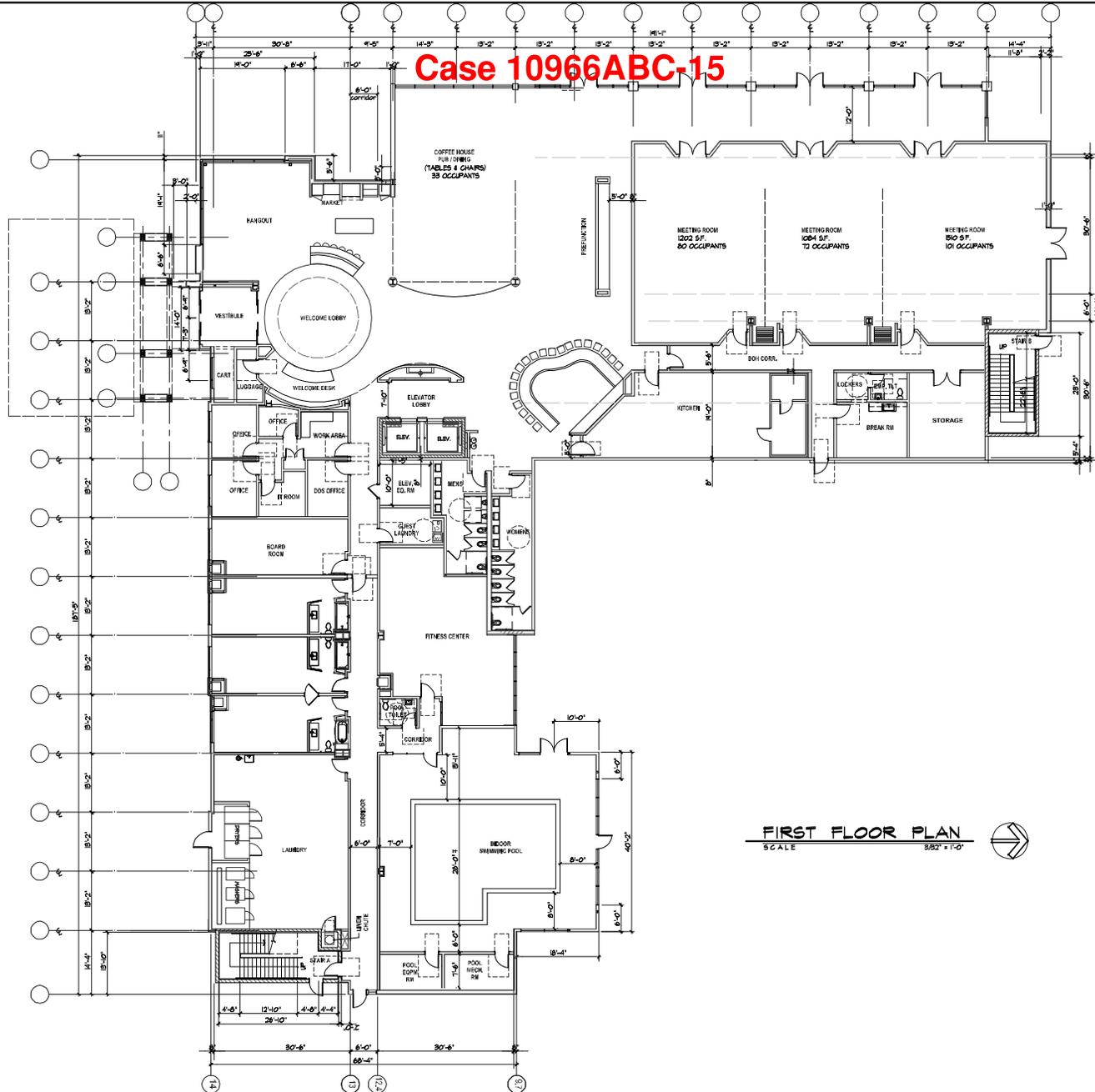


EAST ELEVATION
SCALE: 3/32" = 1'-0"

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**NORTH &
EAST
EXTERIOR
ELEVATIONS**

Case 10966ABC-15



FIRST FLOOR PLAN
SCALE: 3/8" = 1'-0"

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NOT FOR
CONSTRUCTION

CAMERON DESIGN GROUP, INC.
 Donald Y. Cameron, Jr.
 Architect and
 Civil Engineer, License No. 10448
 10448 Certificate No. 200
 One Park Centre
 Park Centre Drive
 Westborough, Ohio 43081
 (614) 334-7888
 Architects
 Civil Engineers
 Engineers
 Interior Designers

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FIRST
FLOOR
PLAN

A-1
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